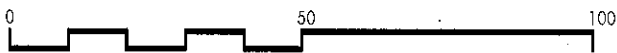


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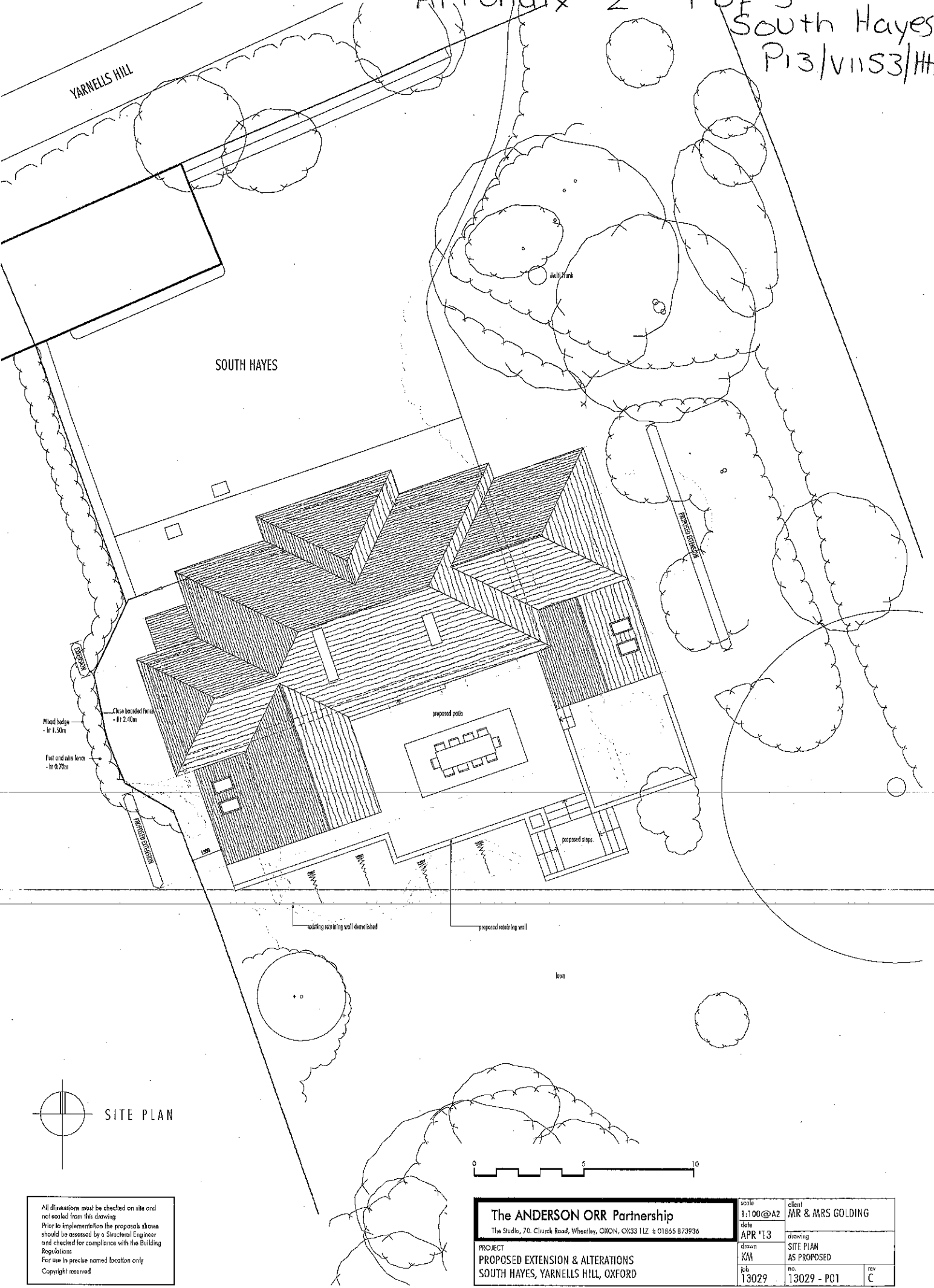


The ANDERSON ORR Partnership The Studio, 70. Church Road, Wheatley, OXON, OX33 1LZ t: 01865 873936	scale 1:1250@A4	client MR AND MRS GOLDING	
	date APR '13	drawing	
PROJECT PROPOSED EXTENSION & ALTERATIONS SOUTH HAYES, YARNELLS HILL, OXFORD	drawn KM	LOCATION PLAN	
	job 13029	no. 13029-L01	rev

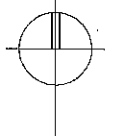
Appendix 2 1 of 5
 South Hayes
 P13/V1153/HH

YARNELLS HILL

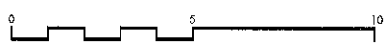
SOUTH HAYES



Mixed hedge
 - ht 1.50m
 Close boarded fence
 - ht 2.40m
 Post and rail fence
 - ht 0.70m

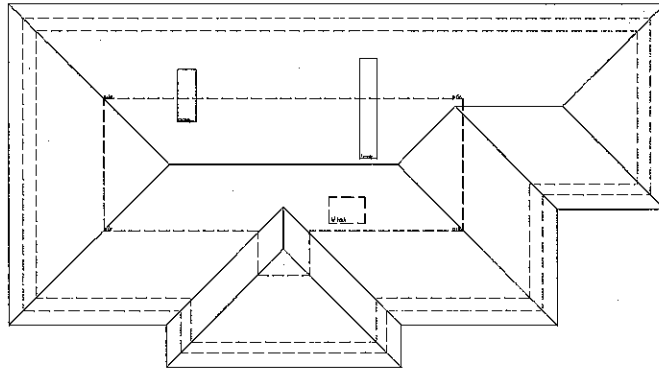


SITE PLAN

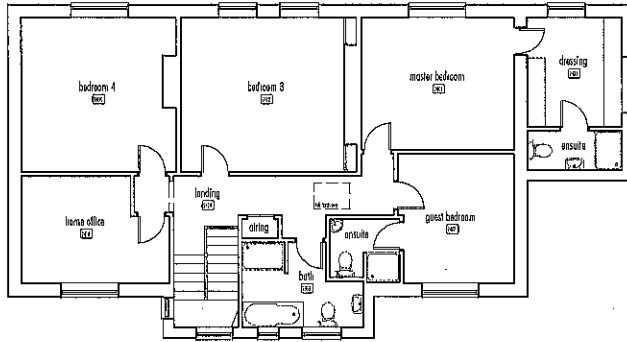


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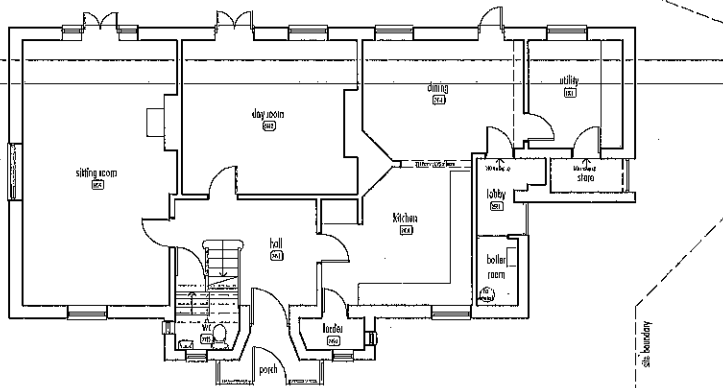
The ANDERSON ORR Partnership The Studio, 70, Church Road, Wheatley, OX33 1LZ t: 01865 873936		scale 1:100@A2	client MR & MRS GOLDING
PROJECT PROPOSED EXTENSION & ALTERATIONS SOUTH HAYES, YARNELLS HILL, OXFORD		date APR '13	drawing SITE PLAN AS PROPOSED
drawn KM		no. 13029 - P01	rev C



ROOF PLAN

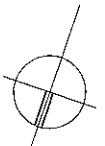
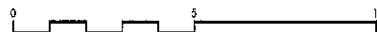


FIRST FLOOR PLAN



GROUND FLOOR PLAN

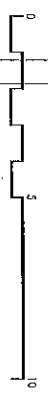
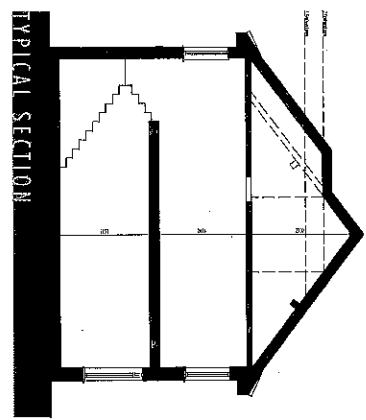
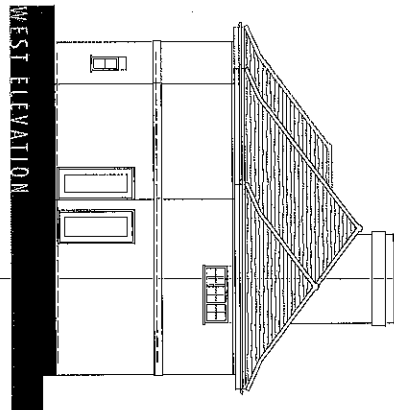
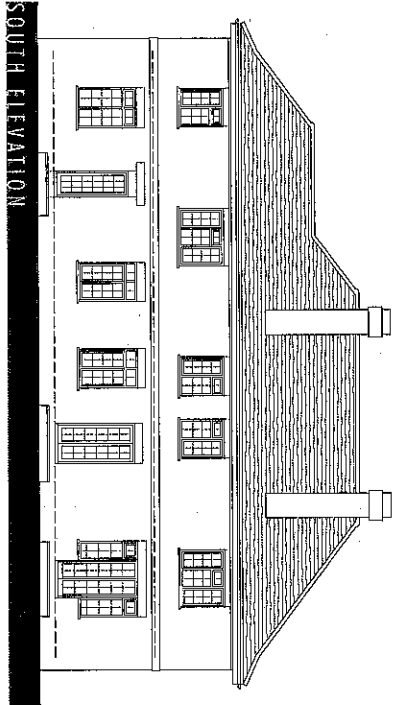
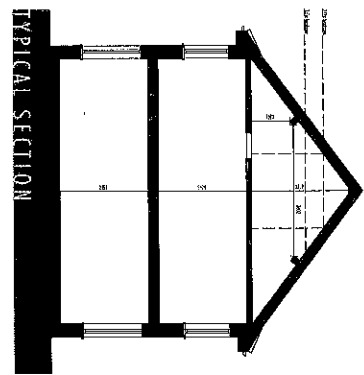
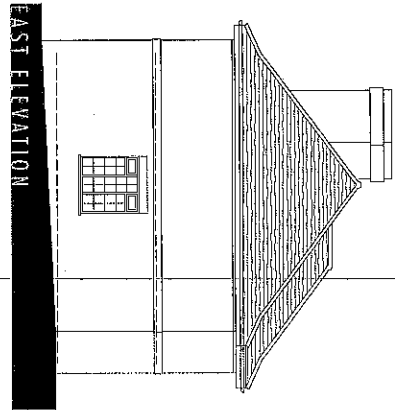
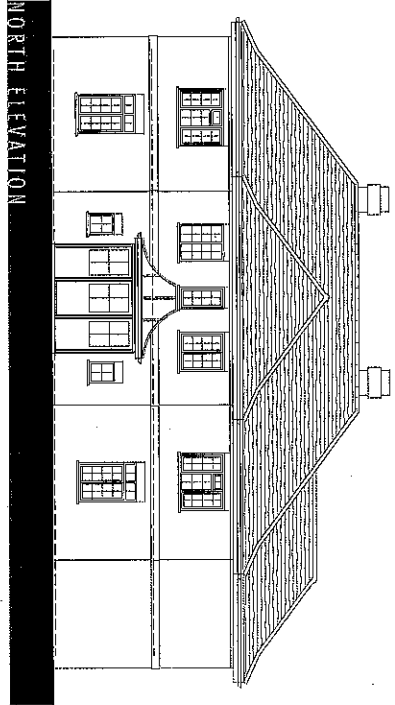
gross internal floor area
 ground floor - 128.38m²
 first floor - 117.72m²
 total floor - 238.10m² (2542.90ft²)



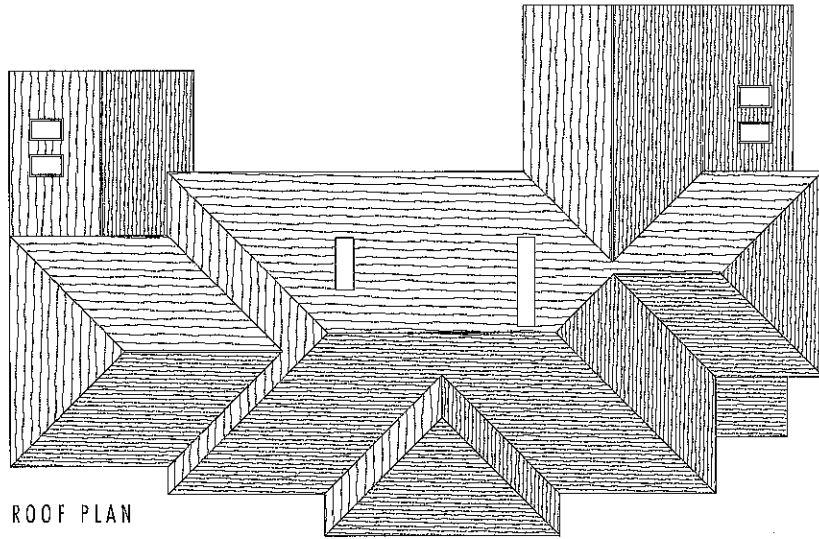
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PROJECT PROPOSED EXTENSION & ALTERATIONS SOUTH HAYES, YARNELLS HILL, OXFORD		date APR '13	drawing FLOOR PLANS AS EXISTING
drawn KM		job 13029	no. 13029 - SU01

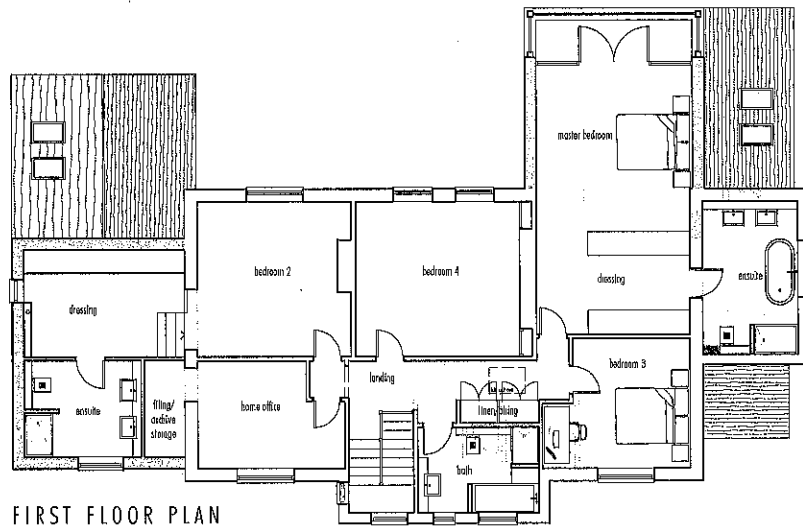
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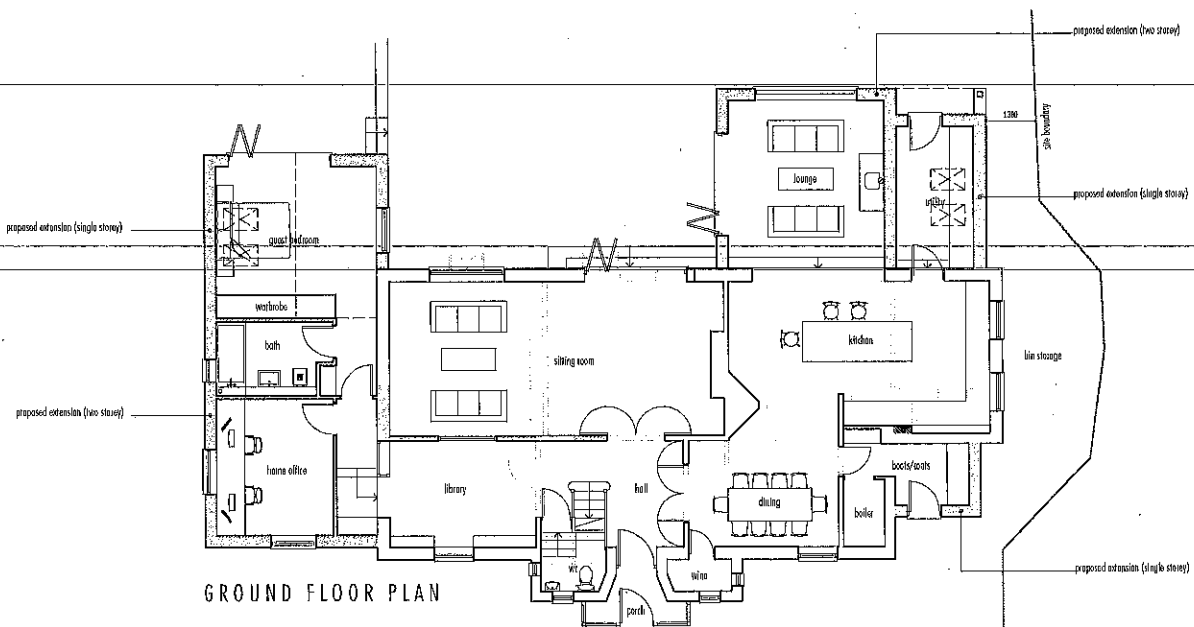
<p>The ANDERSON ORR Partnership PROJECT: PROPOSED EXTENSION & ALTERATIONS SOUTH HAYES, YARNIELLS HILL, OXFORD</p>		<p>client: MR & MRS GOLDING drawings: AS EXISTING no: 13029 - S102</p>	
<p>scope: 111000@AZ title: APR 13</p>		<p>date: APR 13 drawn: KAH job: 13029</p>	
<p>address: The Studio, 70 Church Road, Wheatley, OXON, OX33 1TZ. T: 01865 879735</p>		<p>no: 13029 - S102</p>	





ROOF PLAN

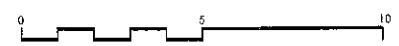


FIRST FLOOR PLAN

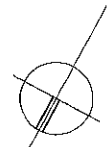


GROUND FLOOR PLAN

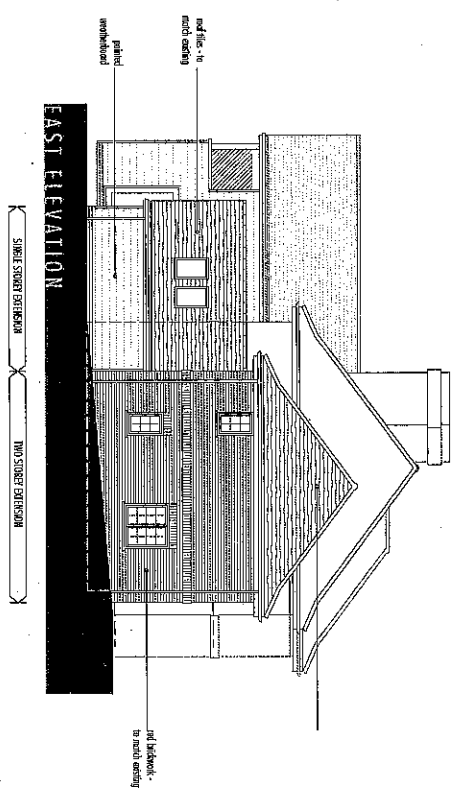
 proposed walls shown but not grey
 detached walls shown



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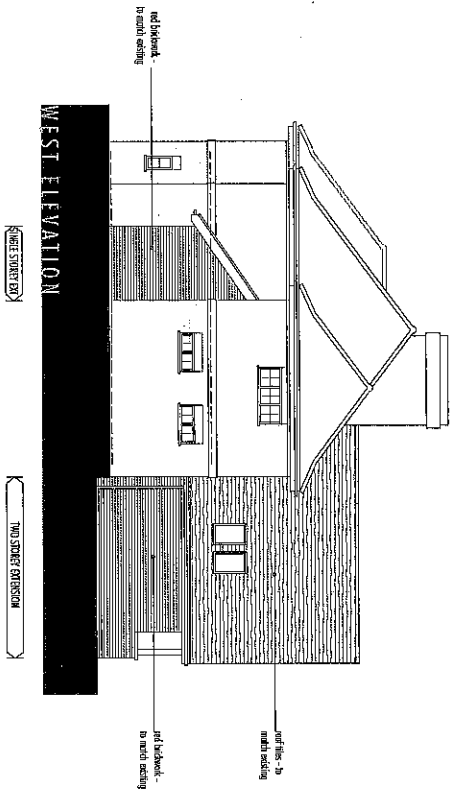


The ANDERSON ORR Partnership The Studio, 70, Church Road, Wheatley, OXON, OX33 1JZ t: 01865 873936		scale 1:100@A2	client MR & MRS GOLDING
PROJECT PROPOSED EXTENSION & ALTERATIONS SOUTH HAYES, YARNELLS HILL, OXFORD		date APR '13	drawing FLOOR PLANS AS PROPOSED
		drawn KAM	no. 13029 - P02
		job 13029	rev B



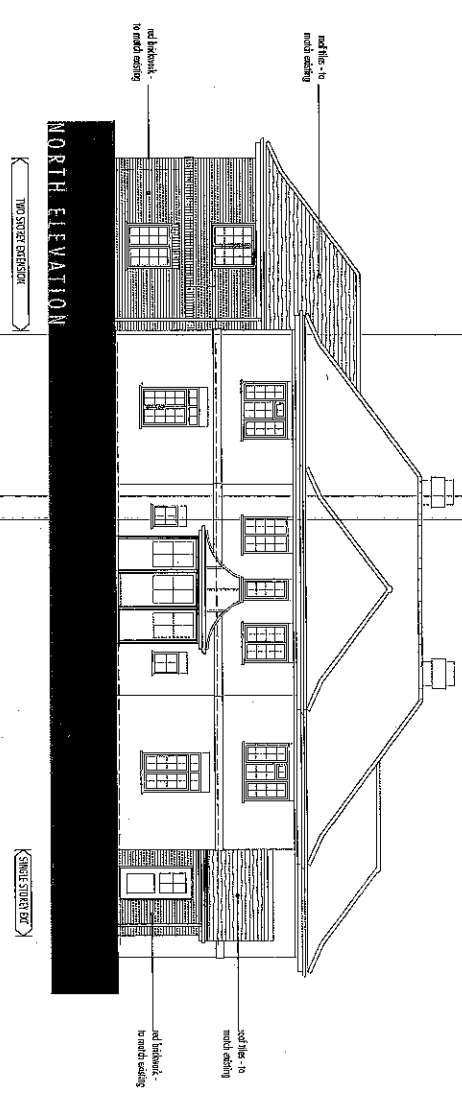
EAST ELEVATION

SINGLE STOREY EXTENSION TWO STOREY EXTENSION



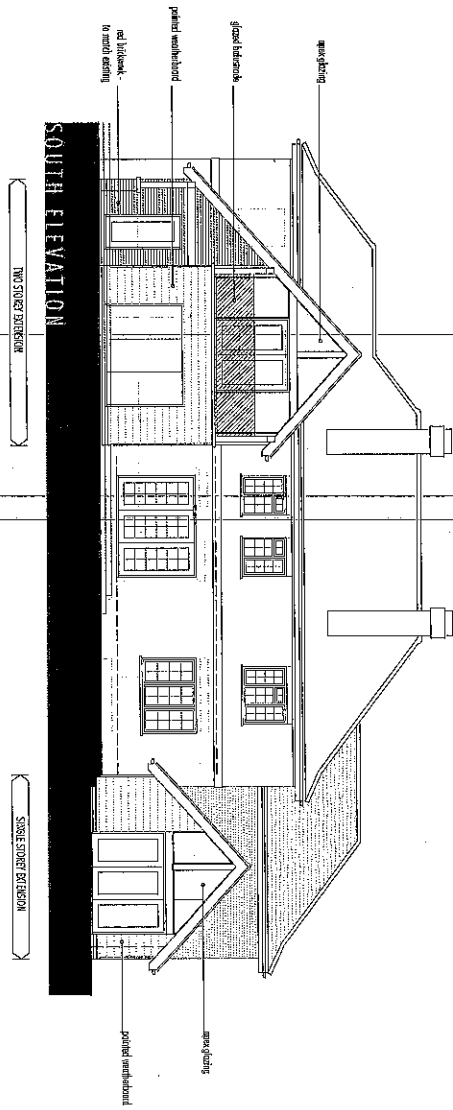
WEST ELEVATION

SINGLE STOREY EXTENSION TWO STOREY EXTENSION



NORTH ELEVATION

TWO STOREY EXTENSION SINGLE STOREY EXTENSION



SOUTH ELEVATION

TWO STOREY EXTENSION SINGLE STOREY EXTENSION



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<p>PROJECT PROPOSED EXTENSION & ALTERATIONS SOUTH HAYES, YARNETTS HILL, OXFORD</p>	<p>drawn KM</p>	<p>date APR 13</p>	<p>drawing ELEVATIONS AS PROPOSED</p>	<p>ref 13029 - P03</p>

P13/V1153/HH Erection of a single front extension, a two storey side extension, a two storey rear extension and internal alterations: South Hayes, Yarnellis Hill, North Hinksey.

Councillors were concerned that the proposed rear extension (west elevation) was extremely close to the neighbouring property (estimated to be approximately 0.5 metres away) and as such any development or maintenance could only be undertaken by entering the neighbours land. There was also a large tree believed to be a Cotoneaster, near the boundary that would need removing and councillors asked that it should be inspected to see if it warrants a TPO being placed on it.

Councillors also requested that a condition be put on any planning approval that the extensions should have a condition placed on them that they can only be used for domestic use. Any change in use requiring a new planning application. **Councillors UNANIMOUSLY AGREED to OBJECT to the application on the following grounds: -**

- a). *The utility room should not be built in the proposed position as its boundary would be too close to the neighbouring boundary and would also kill the roots of the Cotoneaster tree.*
- b). *The proposed rear extension (west elevation) is estimated to be only approximately 0.5 metres away from the neighbouring property and as such any development or maintenance could only be undertaken by entering the neighbours land.*
- c). *The size of the proposed extensions is out of proportion to the existing building.*
- d). *Councillors asked that if a planning approval is given it should include two conditions, namely,*
 - i). *Due to the close proximity of the proposed extension to the neighbours land, the roof should have snow guards on them.*
 - ii). *The extensions should have a condition placed on them that they can only be used for domestic use. Any change in use requiring a new planning application.*